

SIMON RESIDENCE

584 SOUTH RACE STREET

DENVER, COLORADO



black line studio
a design company

8701 WESTWIND LANE
LITTLETON, COLORADO 80126

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F 303.730.6803
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SYMBOLS

	CONCRETE		FINISH FLOOR 100'-0"	ELEVATION DATUM
	CONCRETE BLOCK		1 A-601	BUILDING SECTION
	EXISTING STRUCTURE TO REMAIN (PLAN)		1 A-601	INTERIOR ELEVATION
	EXISTING STRUCTURE TO REMAIN (SECTION)		1 A-601	DETAIL NUMBER
	STONE MASONRY		1 A-601	DETAIL KEY
	BRICK MASONRY		101	ROOM NUMBER
	EARTH FILL/COMPACTED FILL		#	WINDOW KEY
	RIGID INSULATION		101	DOOR KEY
	BATT INSULATION		#	REVISION
	STONE			
	METAL			
	WOOD FRAMING			
	WOOD BLOCKING			
	WOOD(FINISH)			
	PLYWOOD			
	GYPSUM BOARD/PLASTER			
	CENTERLINE			
	PROPERTY LINE			
	EXISTING WALL TO REMAIN			
	EXISTING WALL TO BE REMOVED			
	NEW STUD WALL			

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH CURRENT STATE, LOCAL AND OTHER GOVERNING CODES.
- CONTACT THE DESIGNER FOR CLARIFICATION AND ANY DISCREPANCIES FOUND IN THESE CONSTRUCTION DRAWINGS.
- CONTRACTOR TO COORDINATE TOP OF FOUNDATION WALL ELEVATIONS WITH INFORMATION INDICATED IN THESE PLANS AND WITH FINAL GRADING. NOTIFY THE DESIGNER AND STRUCTURAL ENGINEER THREE (3) DAYS IN ADVANCE OF THE COMPLETION FOR THE FOUNDATION REINFORCING STEEL INSTALLATION AND PRIOR TO CONCRETE POURING FOR COORDINATION OF SITE CONSTRUCTION OBSERVATION OF THESE ACTIVITIES.
- PROVIDE HIGH PERFORMANCE VAPOR RETARDER UNDER CONCRETE SLAB ON GRADE WITH CONTINUOUS SEAL AT ALL EDGES.
- ALL "OR EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION AT THAT TIME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND COORDINATION OF REQUIRED INSPECTIONS.
- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES BEFORE COMMENCING ANY WORK.
- ON-SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF AND PROVIDING ADEQUATE BEARING, CONNECTIONS, ANCHORS, AND/OR NAILING OF ALL STRUCTURAL COMPONENTS.
- HVAC, PLUMBING, AND ELECTRICAL SYSTEMS: UNLESS OTHERWISE INDICATED OR SHOWN, THE H.V.A.C., PLUMBING, & ELECTRICAL MODIFICATIONS SHALL BE BIDDER DESIGNED AND CONFORM TO THE REQUIREMENTS OF THE CURRENTLY ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE, INTERNATIONAL FIRE CODE, INTERNATIONAL ELECTRICAL CODE, INTERNATIONAL MECHANICAL & PLUMBING CODE, N.E.C., N.F.B.U AND AS REQUIRED BY AND IN CONFORMANCE WITH THE OTHER REQUIREMENTS OF THE LOCAL BUILDING AUTHORITY. IN CASE OF DISCREPANCY WITH THE CONTRACT DOCUMENTS, THE GOVERNING CODES SHALL PREVAIL.
- ENGINEERING / DESIGN PROFESSIONAL: IT SHALL BE THE BIDDERS RESPONSIBILITY TO PROVIDE ANY NECESSARY ENGINEERING AND/OR DESIGN PROFESSIONAL'S REVIEWS, APPROVALS, AND STAMPED DOCUMENTS AS REQUIRED BY AND IN CONFORMANCE WITH THE GOVERNING AUTHORITY. IT IS THE RESPONSIBILITY OF THE BIDDER TO CONFIRM SUCH REQUIREMENTS WITH THE GOVERNING BUILDING AUTHORITY.
- EXCEPT WHERE OTHERWISE SPECIFIED THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGES. AT THE END OF DAYS WORK ALL NEW WORK LIKELY TO BE DAMAGED SHALL BE COVERED OR OTHERWISE PROTECTED AS REQUIRED.

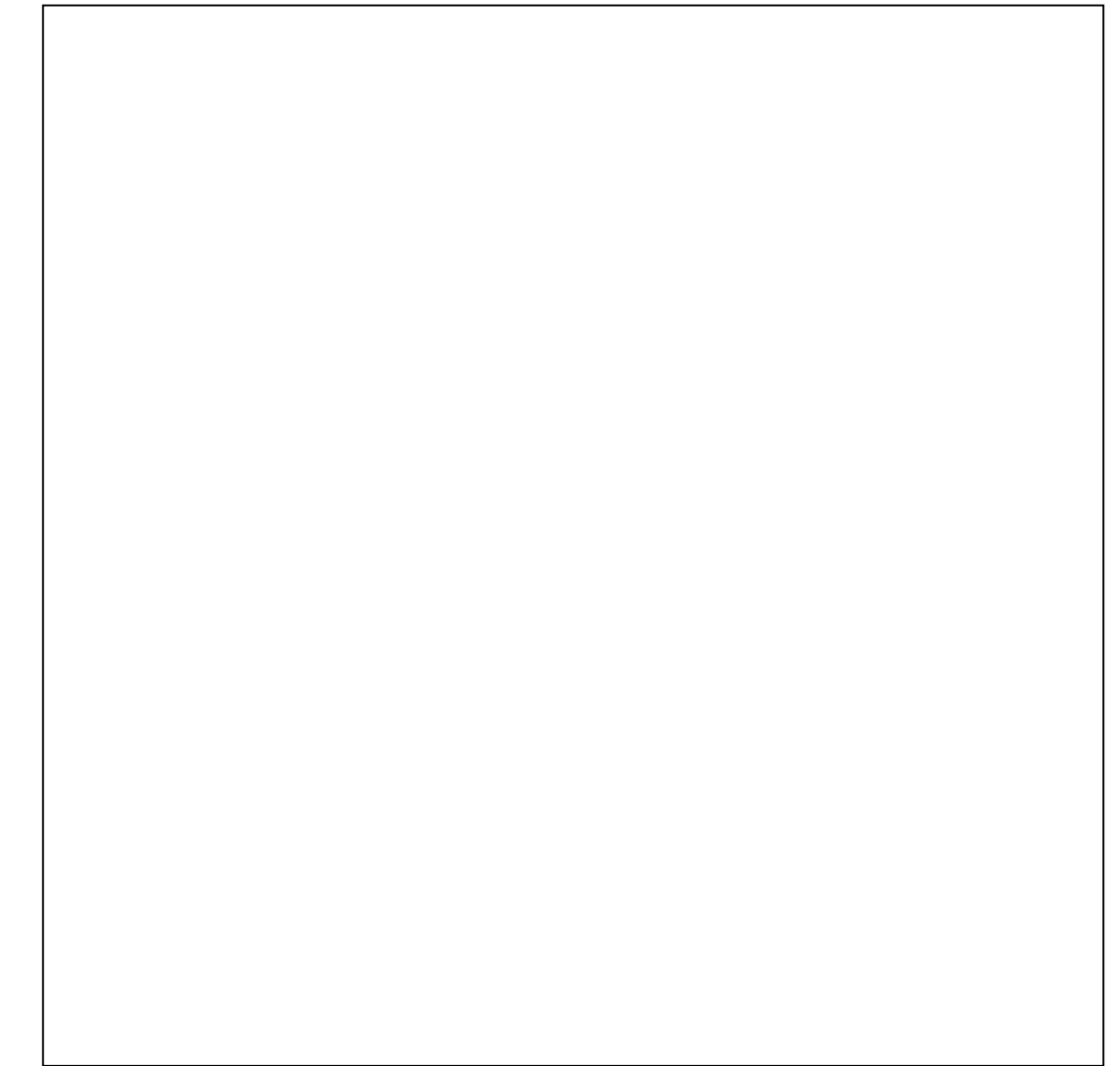
BUILDING INFORMATION

1. PROJECT NAME:	SIMON RESIDENCE
2. STREET ADDRESS:	584 SOUTH RACE STREET DENVER, COLORADO
3. ZONE DISTRICT:	U-SU-C
4. NUMBER OF STORIES:	2 STORY PLUS BASEMENT
5. BUILDING AREA:	BASEMENT LEVEL = 1,737 S.F. MAIN LEVEL = 1,682 S.F. UPPER LEVEL = 1,642 S.F. GARAGE (N/C) = 672 S.F. TOTAL = 3,324 S.F.

GOVERNING CODES

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES, AMENDMENTS AND ORDINANCES AS REQUIRED BY THE CITY AND COUNTY OF DENVER, AND ALL OTHER RECOGNIZED JURISDICTIONS HAVING AUTHORITY OVER THE PROJECT.
 - GOVERNING CODES:
 - BUILDING: 2009 INTERNATIONAL RESIDENTIAL CODE WITH 2011 DENVER AMENDMENTS
 - 2009 INTERNATIONAL MECHANICAL CODE
 - 2009 INTERNATIONAL PLUMBING CODE
 - 2009 INTERNATIONAL FIRE CODE
 - 2009 INTERNATIONAL ENERGY CONSERVATION CODE
 - ELECTRICAL: 2011 NATIONAL ELECTRICAL CODE
- ALL PRODUCTS LISTED BY I.C.B.O. NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURES WRITTEN INSTRUCTIONS. ANY SUBSTITUTIONS SHALL HAVE I.C.B.O. APPROVED REPORTS OR BE APPROVED BY OTHER NATIONALLY ACCEPTED/RECOGNIZED TESTING AGENCIES.

VICINITY MAP



SHEET LIST

A-001	COVER SHEET
ARCHITECTURAL	
A-101	ARCHITECTURAL SITE PLAN
A-201	BASEMENT FLOOR PLAN
A-202	MAIN FLOOR PLAN
A-203	UPPER FLOOR PLAN
A-401	ROOF PLAN
A-501	EXTERIOR ELEVATIONS
A-502	EXTERIOR ELEVATIONS / WINDOW SCHEDULE
A-601	BUILDING SECTIONS
A-602	WALL SECTIONS
A-801	DETAILS
A-901	ROOM FINISH SCHEDULES / WINDOW SCHEDULE
E-201	BASEMENT ELECTRICAL AND LIGHTING PLAN
E-202	MAIN FLOOR ELECTRICAL AND LIGHTING PLAN
E-203	UPPER FLOOR ELECTRICAL AND LIGHTING PLAN
I-201	BASEMENT FLOOR FINISH PLAN
I-202	MAIN FLOOR FINISH PLAN
I-203	UPPER FLOOR FINISH PLAN
I-301	MAIN FLOOR FURNITURE PLAN
I-302	UPPER FLOOR FURNITURE PLAN
STRUCTURAL	
S-1	FOUNDATION PLAN
S-2	MAIN FLOOR FRAMING PLAN
S-3	UPPER FLOOR FRAMING PLAN
S-4	ROOF FRAMING PLAN
S-5	SPECIFICATIONS / DETAILS

PROJECT TEAM

DESIGN THE BLACKLINE STUDIO 8701 WESTWIND LANE LITTLETON, COLORADO 80126 720-344-5565 DAVID COURT DCOURT@THEBLACKLINESTUDIO.COM	OWNER DAN AND ADRIAN SIMON 584 SOUTH RACE STREET DENVER, COLORADO
PROJECT MANAGEMENT GOERIG DESIGN P.O. BOX 6213 DENVER, COLORADO 80206 303-915-9440 DONALD GOERIG DON@GOERIGDESIGN.COM	STRUCTURAL ENGINEERING DOSSEY SUDIK STRUCTURAL ENGINEERS, LLC 6025 SOUTH QUEBEC STREET SUITE 375 CENTENNIAL, COLORADO 80111 DAVE DOSSEY, P.E. DDOSSEY@DOSSEYSUDIK.COM GEO-TECH REPORT ???

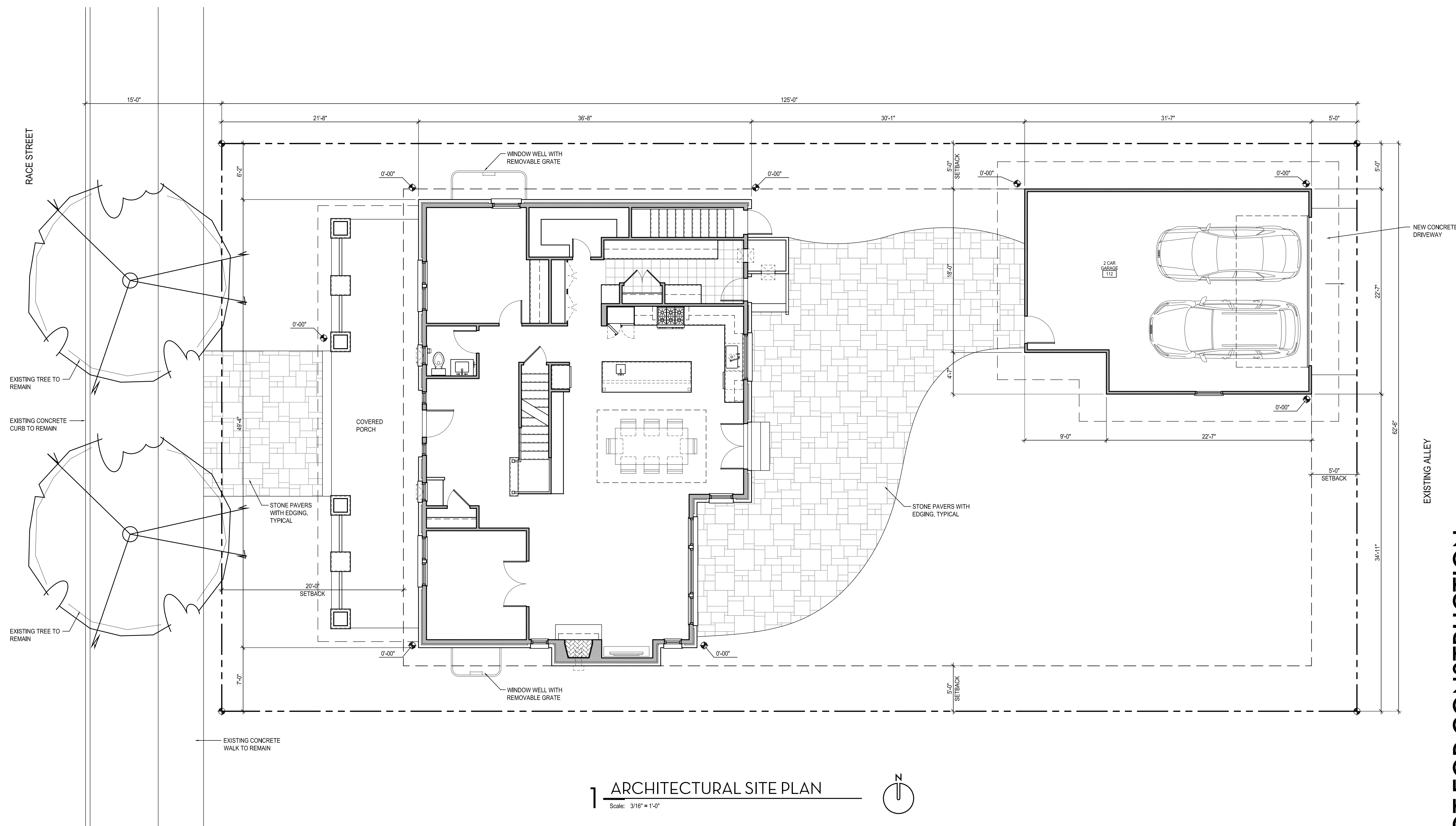
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DENVER, COLORADO

REV	DATE	ISSUED FOR:
-	05/21/12	REVIEW
-	06/14/12	REVIEW
-	06/16/12	REVIEW

DRAWING TITLE
COVER SHEET

A-001



1 ARCHITECTURAL SITE PLAN
Scale: 3/16" = 1'-0"

AREA CALCULATION

LOT SIZE = 7,812 S.F.
MAXIMUM ALLOWABLE BUILDING AREA = 7,812 x 37.5% = 2,930 S.F.

PROPOSED HOUSE AREA = 2,510 S.F.
PROPOSED GARAGE AREA = 672 S.F.
TOTAL = 3,182 S.F.

DETACHED GARAGE CREDIT AT 15'-0" FROM HOUSE (672 x .5 = 336)

BUILDING AREA 2,510 - GARAGE ADD (336) = 2,846 S.F.

SITE NOTES

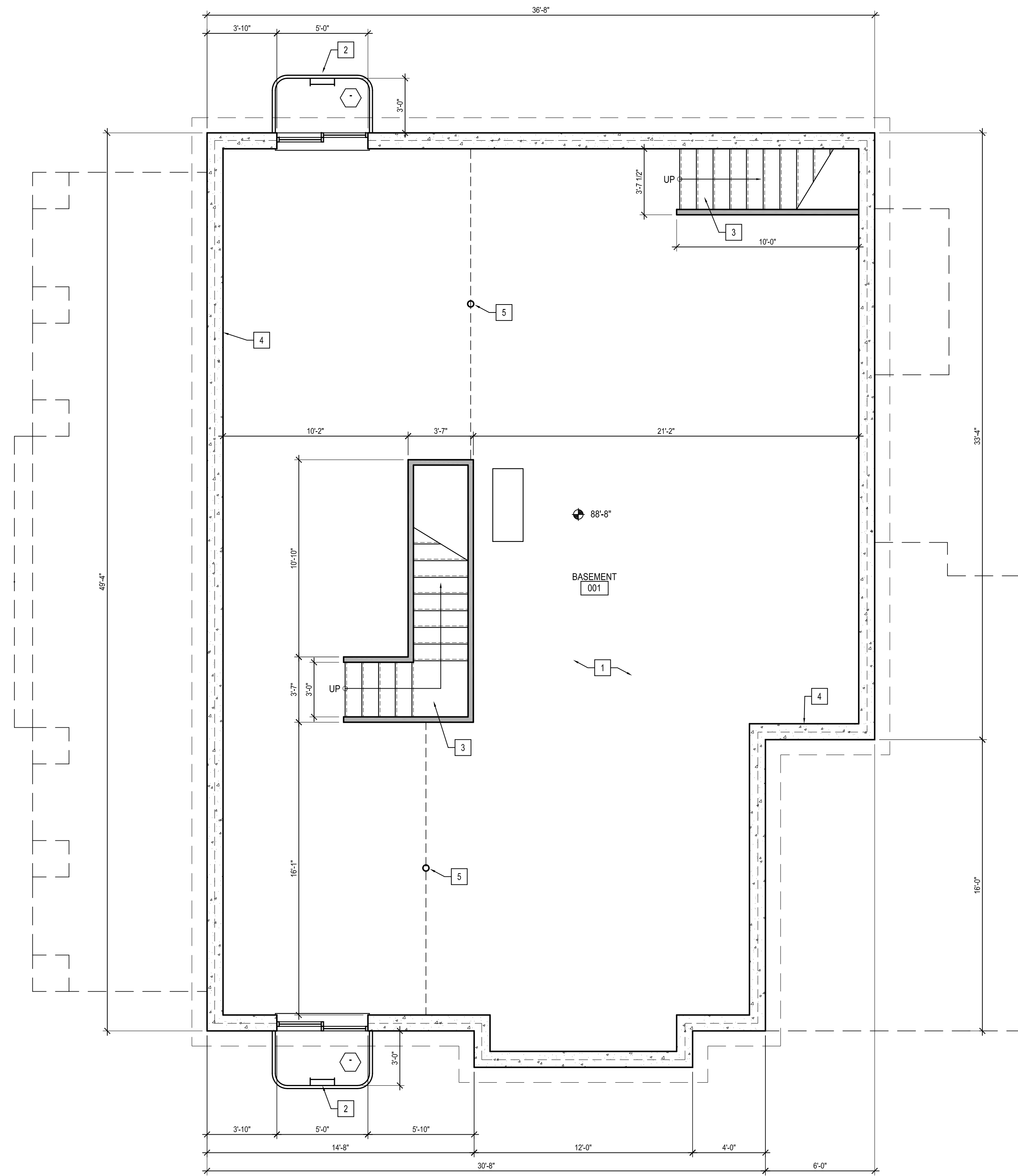
- ALL SURFACES ADJACENT TO THE BUILDING PERIMETER ARE TO SLOPE AND DRAIN AWAY FROM THE BUILDING.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.
- PROVIDE EROSION CONTROL MEASURES DURING CONSTRUCTION AS REQUIRED BY THE GOVERNING AUTHORITY.
- CONTRACTOR TO FIELD VERIFY WITH DESIGNER PLACEMENT OF HOUSE ON SITE AND DIMENSIONS TO ALL EXISTING PROP. LINES, EXISTING STRUCTURES, ETC.
- CONTRACTOR TO VERIFY WITH GOVERNING AUTHORITY ALL SETBACKS AND EXISTING EASEMENTS.

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DRAWING TITLE
ARCHITECTURAL SITE PLAN



1 BASEMENT FLOOR PLAN
 Scale: 1/4" = 1'-0"
 N

FLOOR PLAN GENERAL NOTES

- ALL INTERIOR WALLS SHALL BE 2x4's @ 16" O.C., ALL EXTERIOR WALLS TO BE 2x6 WITH 1" AIRSPACE TO BRICK VENEER SYSTEM, UNLESS NOTED OTHERWISE.
- PROVIDE SOUND BATTS AROUND ALL BATHROOMS AND UTILITY ROOMS, AND MASTER BEDROOM.
- AT LAUNDRY ROOM, PROVIDE WASHER WALL BIBB, FLOOR DRAIN AND PAN. PROVIDE DRYER EXHAUST AT WALL. RE: PLUMBING
- VERIFY ALL KITCHEN, UTILITY AND BATH ACCESSORIES (I.E. PAPER TOWEL HOLDERS, WALL MOUNTED KITCHEN ACCESSORIES, TOWEL BARS, TOILET PAPER HOLDERS, ETC.,) PROVIDE 2x SOLID BLOCKING FOR MOUNTING.
- ALL DOORS OFFSET 6" FROM WALL ON HINGE SIDE UNLESS OTHERWISE NOTED, OR CENTERED IN WALL.
- ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING, ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.

FLOOR PLAN KEY NOTES

- 1 CONCRETE SLAB FLOOR, RE: STRUCTURAL.
- 2 EGRESS WINDOW WELL.
- 3 WOOD STAIRS.
- 4 CONCRETE FOUNDATION WALL, RE: STRUCTURAL.
- 5 STEEL POST, RE: STRUCTURAL.
- 6 -



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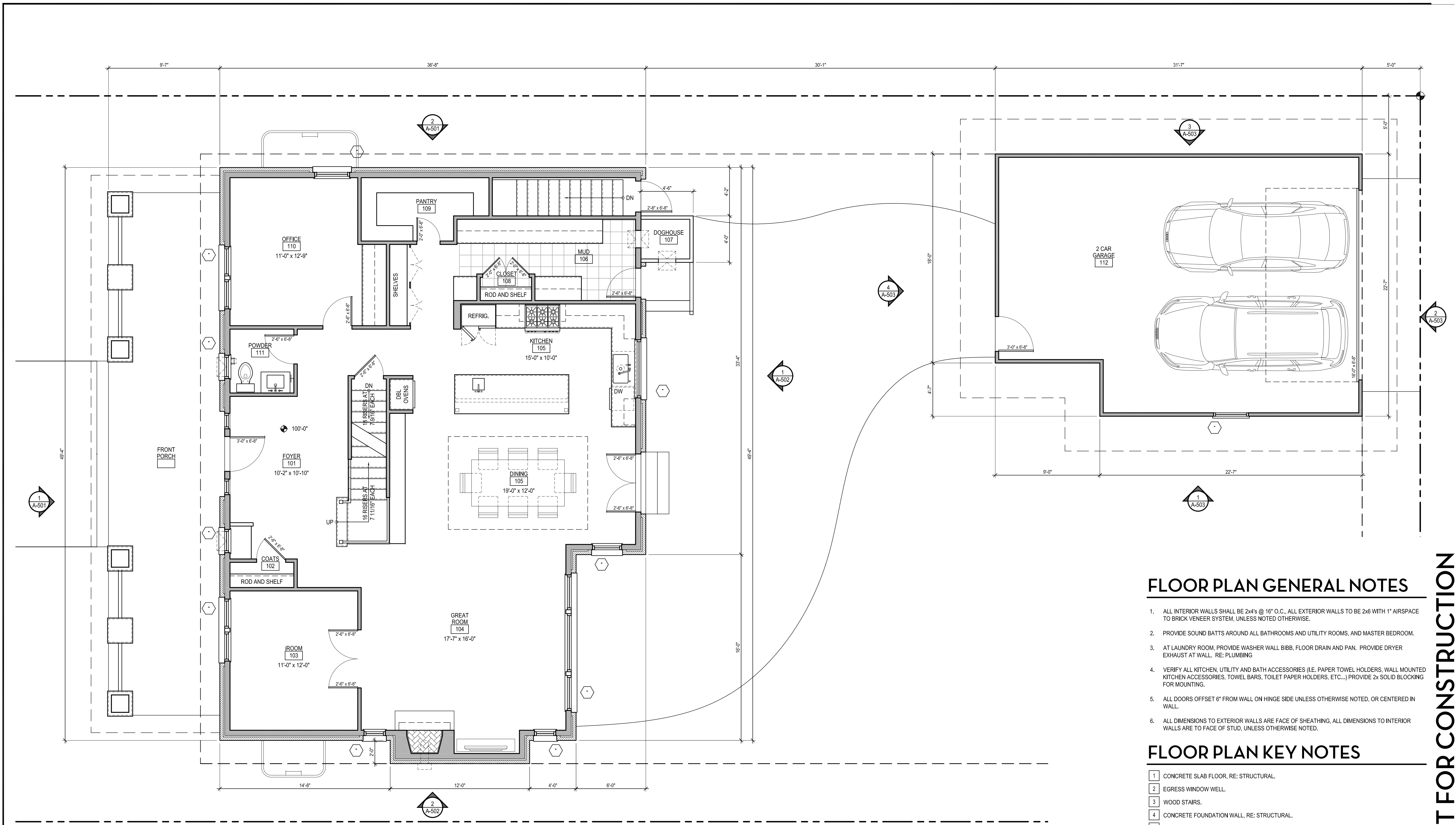
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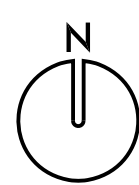
DRAWING TITLE
 BASEMENT FLOOR PLAN

A-201



1 MAIN FLOOR PLAN

Scale: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

1. ALL INTERIOR WALLS SHALL BE 2x4's @ 16" O.C., ALL EXTERIOR WALLS TO BE 2x6 WITH 1" AIRSPACE TO BRICK VENEER SYSTEM, UNLESS NOTED OTHERWISE.
2. PROVIDE SOUND BATTS AROUND ALL BATHROOMS AND UTILITY ROOMS, AND MASTER BEDROOM.
3. AT LAUNDRY ROOM, PROVIDE WASHER WALL BIBB, FLOOR DRAIN AND PAN, PROVIDE DRYER EXHAUST AT WALL. RE: PLUMBING
4. VERIFY ALL KITCHEN, UTILITY AND BATH ACCESSORIES (I.E. PAPER TOWEL HOLDERS, WALL MOUNTED KITCHEN ACCESSORIES, TOWEL BARS, TOILET PAPER HOLDERS, ETC...) PROVIDE 2x SOLID BLOCKING FOR MOUNTING.
5. ALL DOORS OFFSET 6" FROM WALL ON HINGE SIDE UNLESS OTHERWISE NOTED, OR CENTERED IN WALL.
6. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING, ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.

FLOOR PLAN KEY NOTES

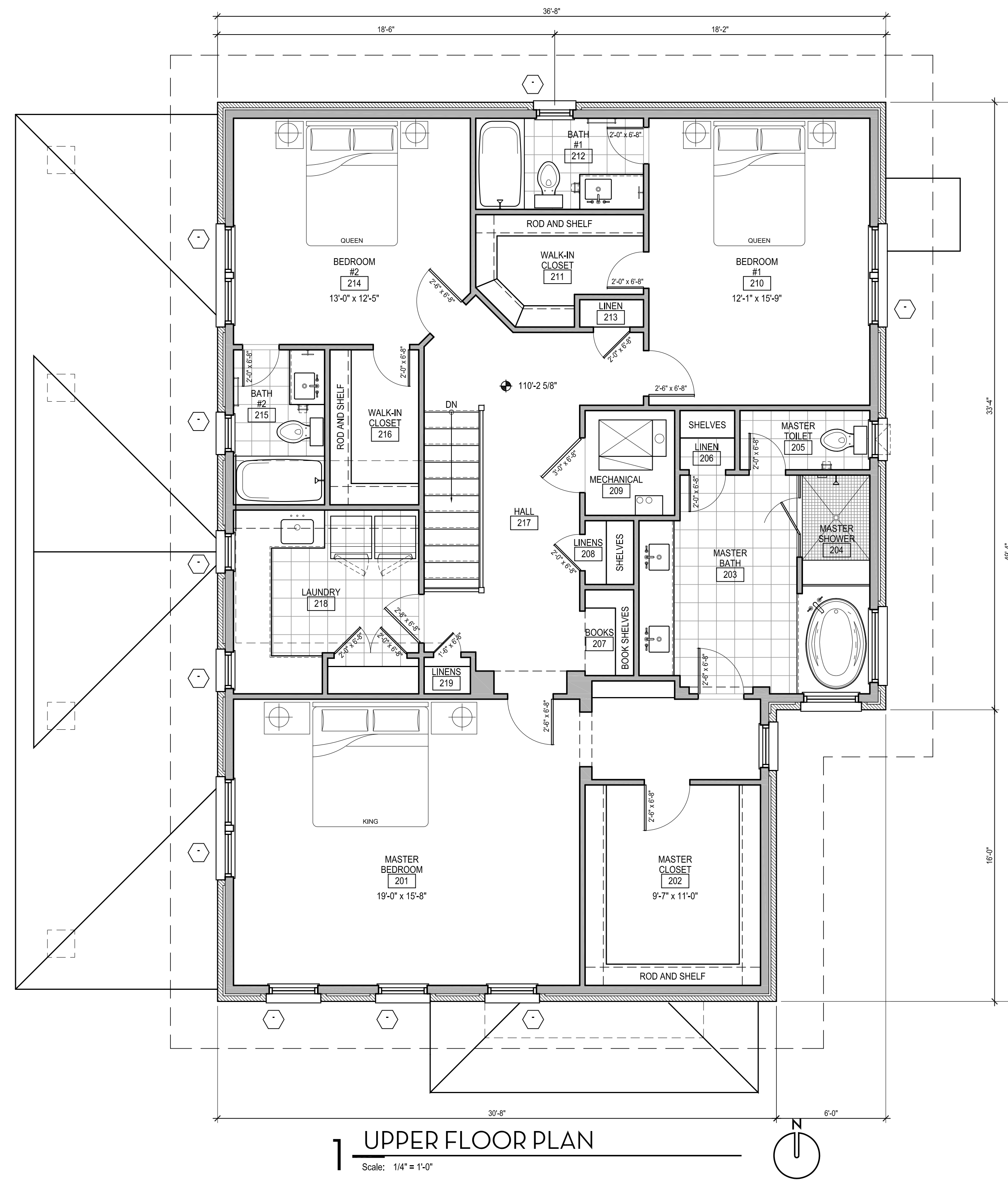
- 1 CONCRETE SLAB FLOOR, RE: STRUCTURAL.
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- 3 WOOD STAIRS.
- 4 CONCRETE FOUNDATION WALL, RE: STRUCTURAL.
- 5 STEEL POST, RE: STRUCTURAL.
- 6 -

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DRAWING TITLE
MAIN FLOOR PLAN



FLOOR PLAN GENERAL NOTES

1. ALL INTERIOR WALLS SHALL BE 2x4's @ 16" O.C., ALL EXTERIOR WALLS TO BE 2x6 WITH 1" AIRSPACE TO BRICK VENEER SYSTEM, UNLESS NOTED OTHERWISE.
2. PROVIDE SOUND BATTS AROUND ALL BATHROOMS AND UTILITY ROOMS, AND MASTER BEDROOM.
3. AT LAUNDRY ROOM, PROVIDE WASHER WALL BIBB, FLOOR DRAIN AND PAN. PROVIDE DRYER EXHAUST AT WALL. RE: PLUMBING
4. VERIFY ALL KITCHEN, UTILITY AND BATH ACCESSORIES (I.E. PAPER TOWEL HOLDERS, WALL MOUNTED KITCHEN ACCESSORIES, TOWEL BARS, TOILET PAPER HOLDERS, ETC...) PROVIDE 2x SOLID BLOCKING FOR MOUNTING.
5. ALL DOORS OFFSET 6" FROM WALL ON HINGE SIDE UNLESS OTHERWISE NOTED, OR CENTERED IN WALL.
6. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING, ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.

FLOOR PLAN KEY NOTES

- 1 CONCRETE SLAB FLOOR, RE: STRUCTURAL.
- 2 EGRESS WINDOW WELL.
- 3 WOOD STAIRS.
- 4 CONCRETE FOUNDATION WALL, RE: STRUCTURAL.
- 5 STEEL POST, RE: STRUCTURAL.
- 6 -

WINDOW SCHEDULE			
KEY	WINDOW SIZE	WINDOW TYPE	REMARKS
A	5'-0" x 4'-0"	SLIDER	EGRESS
B	5'-0" x 4'-0"	SLIDER	EGRESS
C	-	-	

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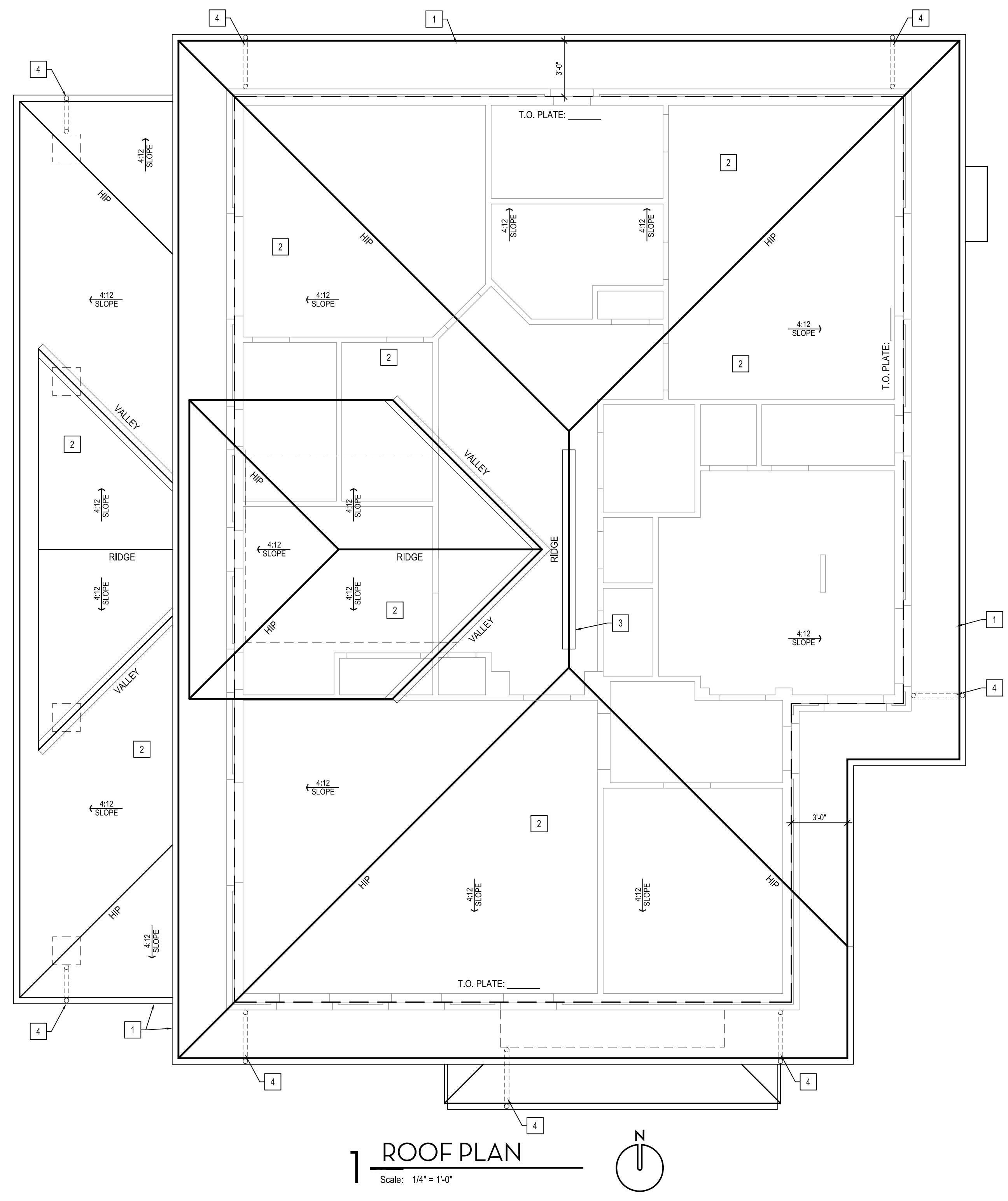
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UPPER FLOOR PLAN

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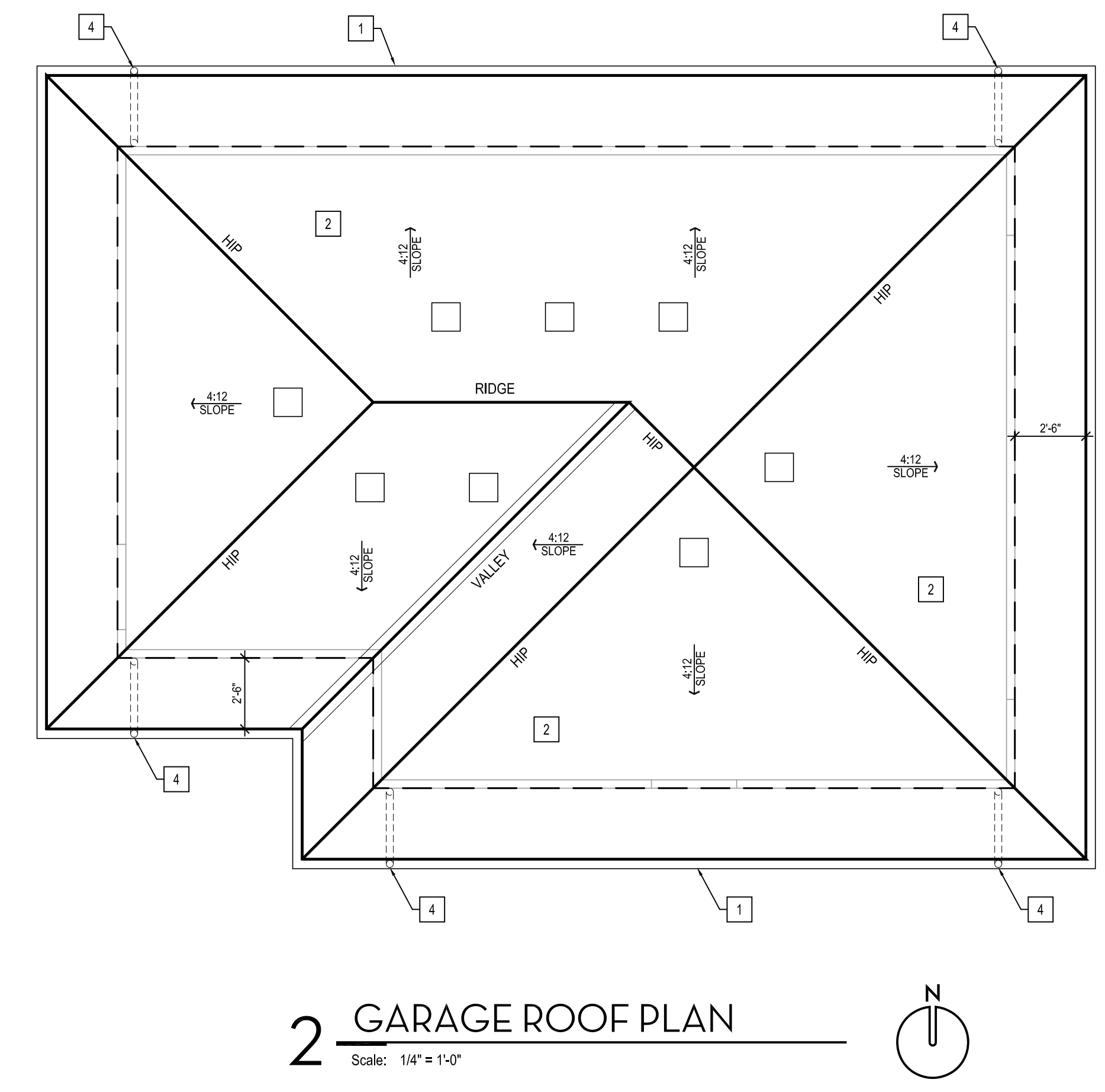
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ROOF KEY NOTES

- 1 METAL RAIN GUTTER WITH DOWNSPOUT
- 2 ASPHALT SHINGLES OVER ROOFING FELTS
- 3 CONTINUOUS RIDGE VENT
- 4 METAL DOWNSPOUT LOCATION



1 ROOF PLAN
Scale: 1/4" = 1'-0"



2 GARAGE ROOF PLAN
Scale: 1/4" = 1'-0"

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DRAWING TITLE
ROOF PLAN

ELEVATION KEY NOTES

- 1 BRICK VENEER WITH 1" AIR SPACE
- 2 STAINED WOOD EAVE BRACKET
- 3 CAST STONE SILL
- 4 INSULATED STAINED WOOD GARAGE DOOR
- 5 DEEP SHADOW ASPHALT SHINGLES
- 6 ALUMINUM CLAD WOOD WINDOWS AND DOORS, TYPICAL
- 7 FIREPLACE WALL VENT
- 8



2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



1 WEST ELEVATION
Scale: 1/4" = 1'-0"

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DRAWING TITLE
EXTERIOR ELEVATIONS

ELEVATION KEY NOTES

- 1 BRICK VENEER WITH 1" AIR SPACE
- 2 STAINED WOOD EAVE BRACKET
- 3 CAST STONE SILL
- 4 INSULATED STAINED WOOD GARAGE DOOR
- 5 DEEP SHADOW ASPHALT SHINGLES
- 6 ALUMINUM CLAD WOOD WINDOWS AND DOORS, TYPICAL
- 7 FIREPLACE WALL VENT
- 8



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
Scale: 1/4" = 1'-0"

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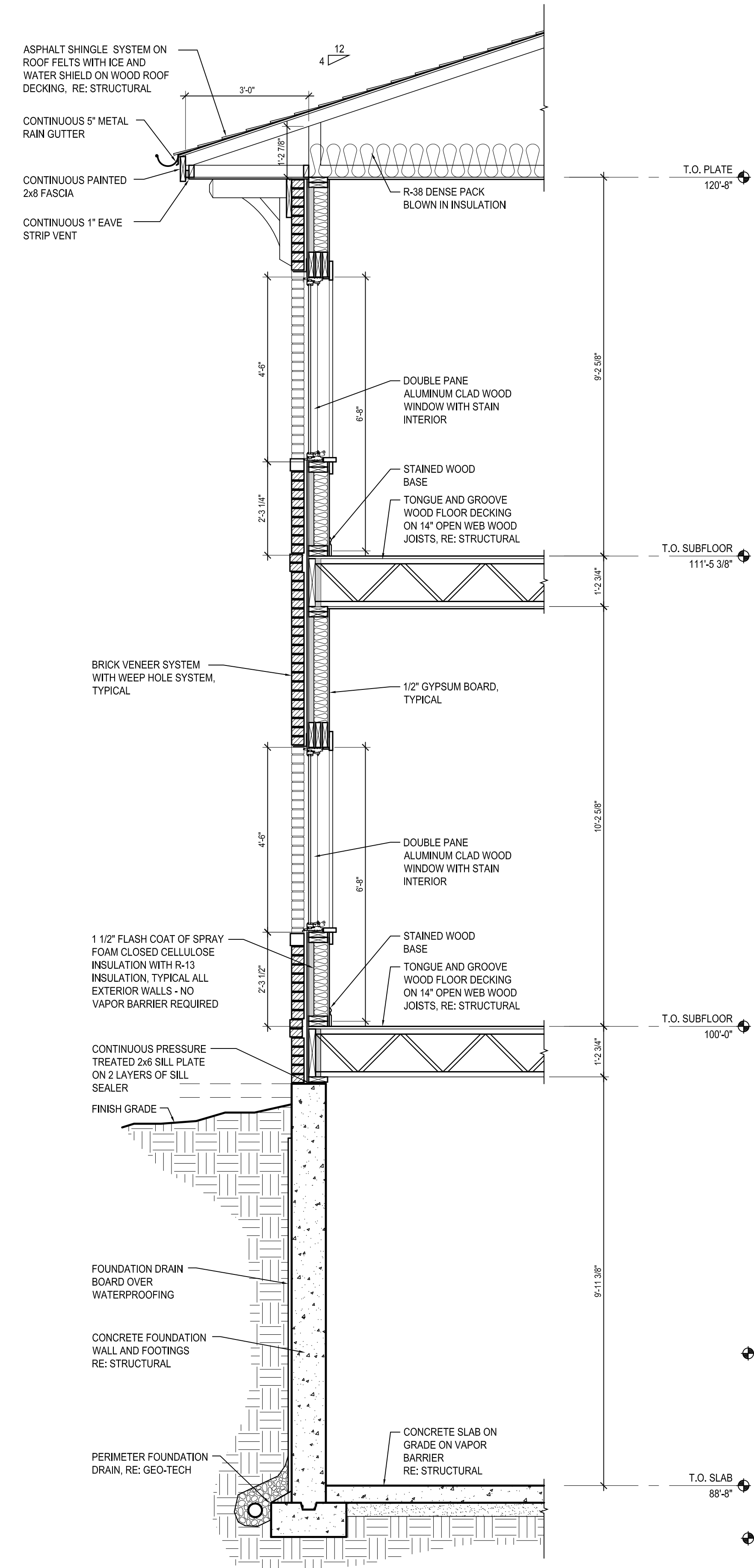
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EXTERIOR ELEVATIONS

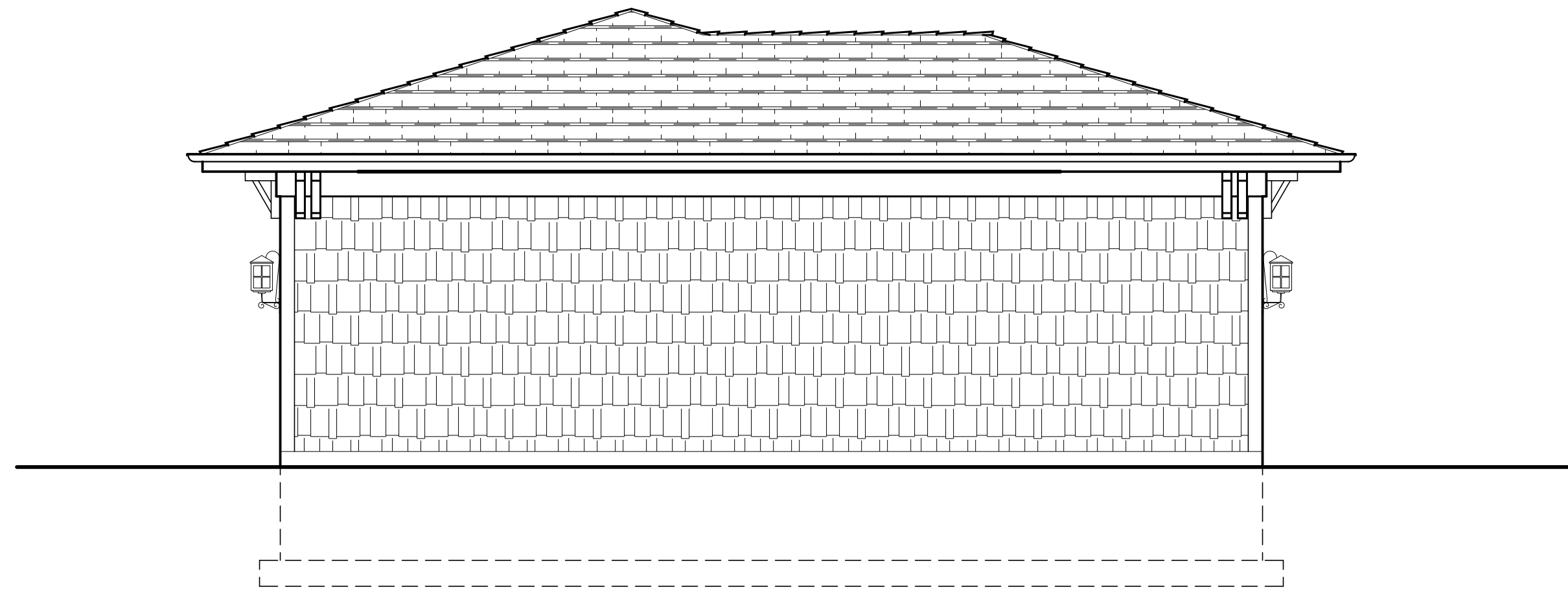
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ELEVATION KEY NOTES

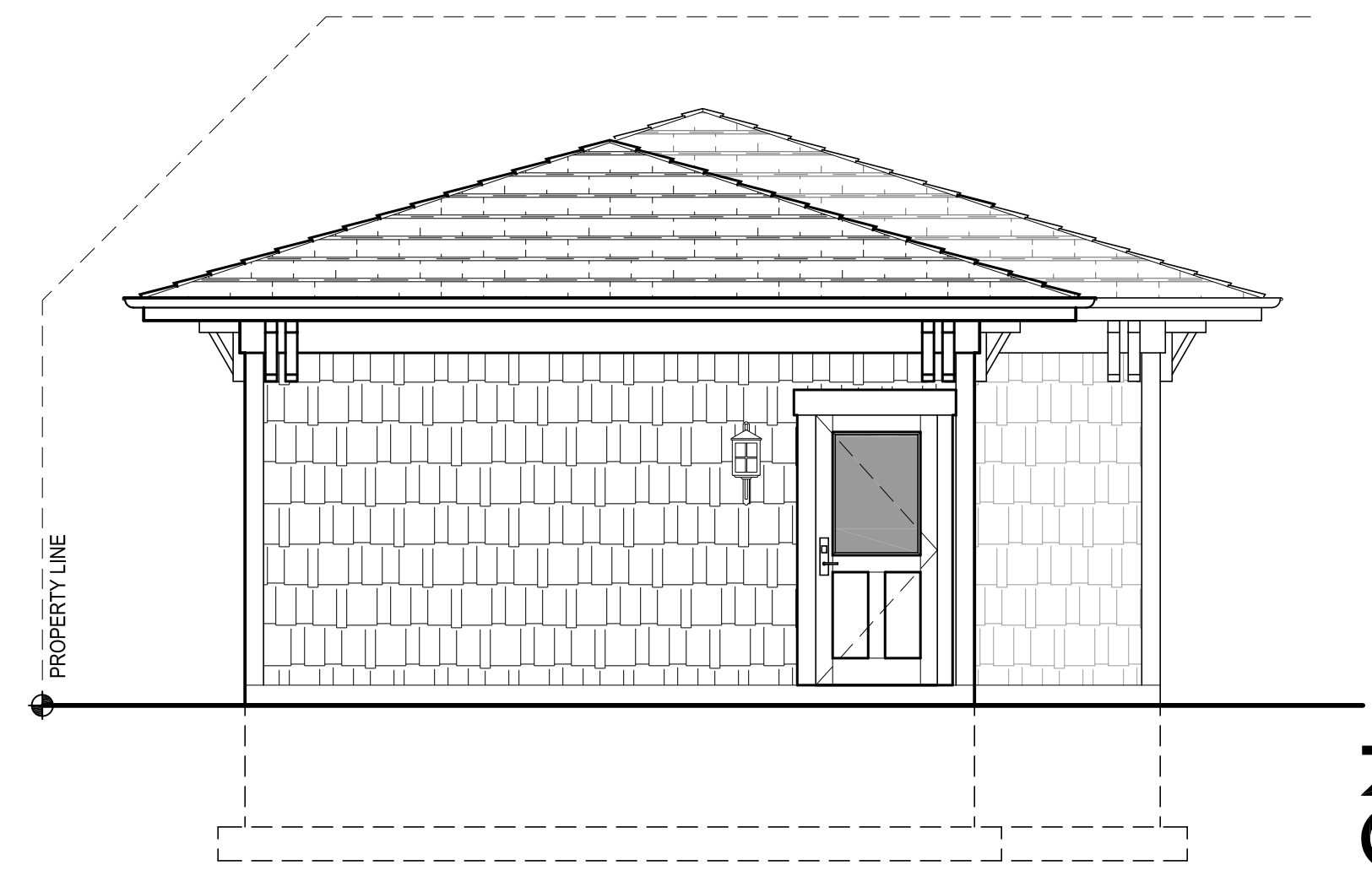
- 1 BRICK VENEER WITH 1" AIR SPACE
- 2 STAINED WOOD EAVE BRACKET
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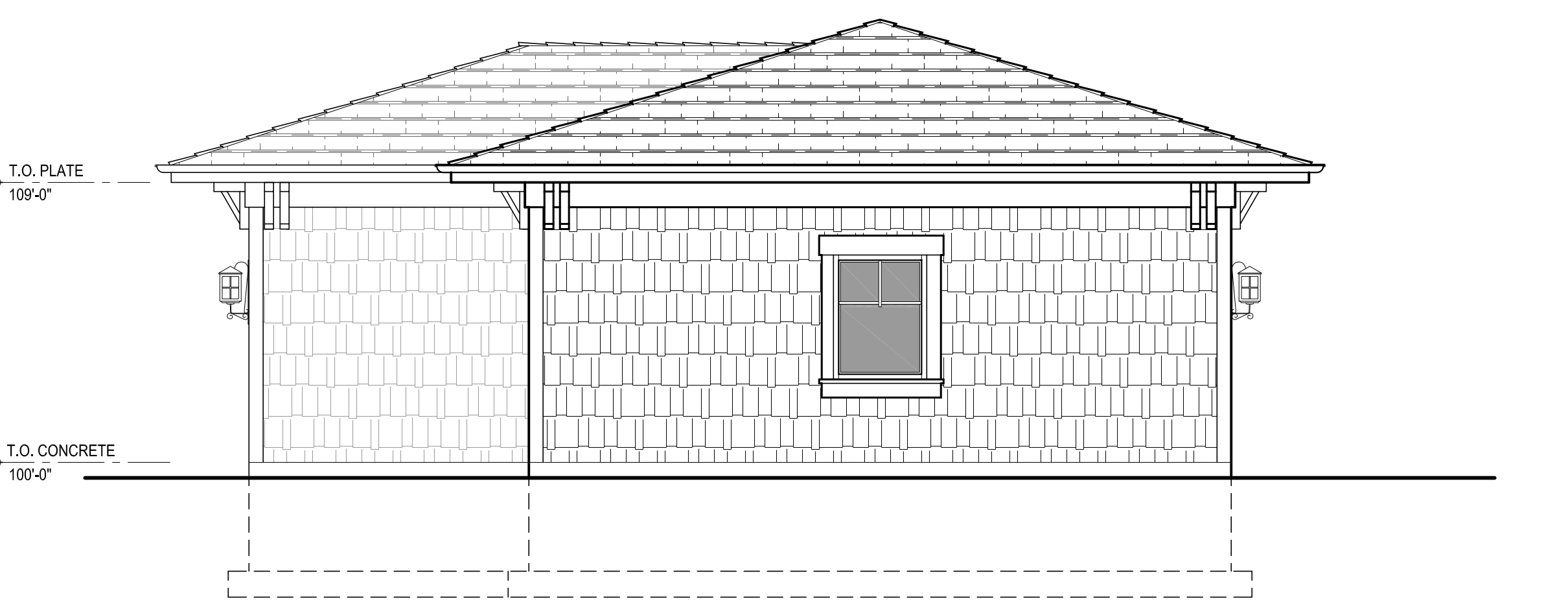
5 WALL SECTION
Scale: 1/2" = 1'-0"



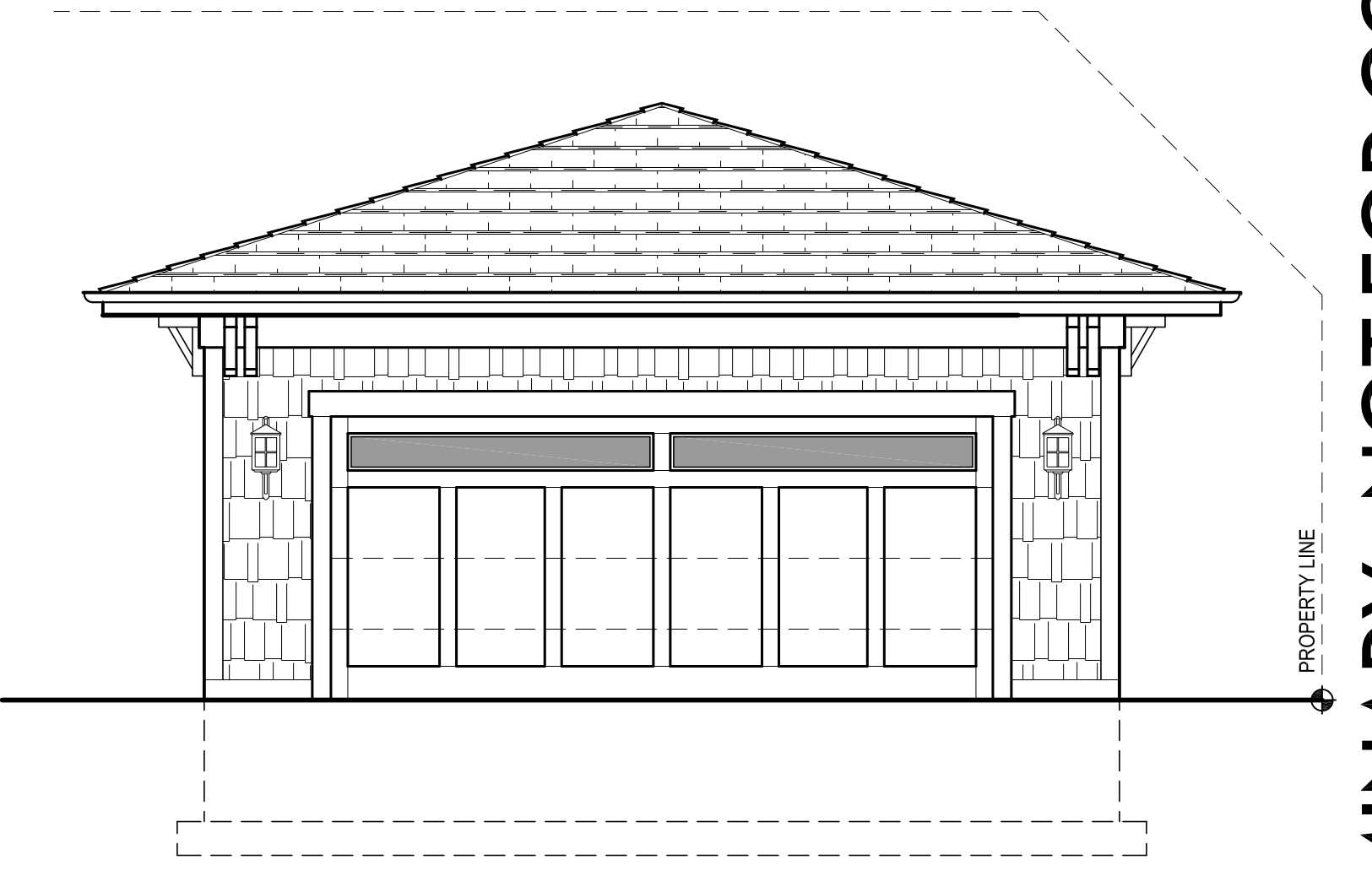
3 NORTH GARAGE ELEVATION
Scale: 1/4" = 1'-0"



4 WEST GARAGE ELEVATION
Scale: 1/4" = 1'-0"



1 SOUTH GARAGE ELEVATION
Scale: 1/4" = 1'-0"



2 EAST GARAGE ELEVATION
Scale: 1/4" = 1'-0"

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